



AFFORDABLE HOUSING

Unlocking The County Role
In The Production Process



What Does Affordable Housing Require?

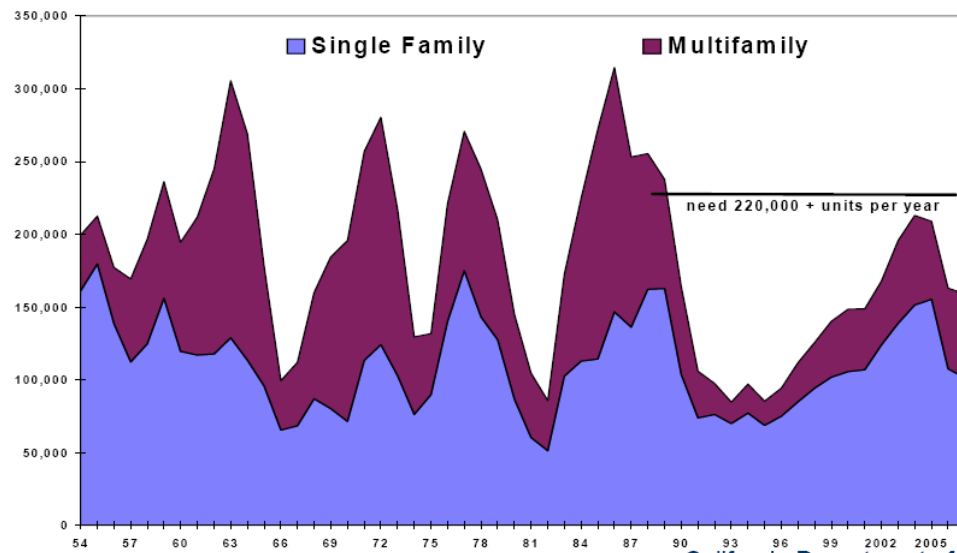
Saving costs at **ALL PHASES** of the development process

Why Is Affordable Housing Important?



California's Housing Supply

New Housing Permits Issued Not Keeping Up With Demand



SOURCES: CAR; Construction Industry Research Board, December 26, 2006 ;
CA Statewide Housing Plan. Graphic representation by HCD.

California Department of Housing
and Community Development

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- ◆ When demand is high and supply is low, land costs rise.





Key Factors In Producing Affordable Housing

1. Available and Affordable Land
2. **TIME IS MONEY** – Speed of Processing is Essential
3. Available/Developable Infrastructure
4. Available Funding/Financing

1. Available And Affordable Land

- ◆ Land needs to be relatively flat





◆ Increased slope = increased grading/foundation costs = increased cost to consumers.

Other Land Issues: Land Must Be Free of Environmental Constraints:

- ◆ Sites not in Floodplain





- ◆ Must not be in Alquist-Priolo Earthquake Fault Zone

(red lines indicate zone)





- ◆ Must not be in the A or B1 zone of an Airport Land Use Map.

◆ No Known
Threatened
or
Endangered
Species.






◆ No wetlands.



County Actions That Can Make Land Available and Affordable

- ◆ Decision makers can mandate affordable housing as a permitting priority.





◆ County can donate surplus land for affordable projects (example in case study).



◆ Facilitate land reuse by seeking funding for “Brownfield” projects (example in case study).





The County Can Also:

- ◆ use redevelopment funds to acquire land for affordable housing.
- ◆ adopt an Inclusionary Housing Ordinance to generate units/funds/land donations.
- ◆ provide in-kind services or funds as a local match for grant funding.


2. TIME IS MONEY!



Affordable Housing Must Be A Recognized Priority

- ◆ Public acceptance and endorsement of the need for Affordable Housing is critical.



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- ◆ Prolonged Public review of projects can allow a vocal minority to erode decision makers' support for projects.

- ◆ Lengthy discretionary review adds months to the process and drives up costs.





- ◆ **Fast Track** approval process is needed for affordable housing:

All planning staff must be familiar with State laws concerning affordable housing, including the use of CEQA exemptions.



- ◆ Use the minimum allowable comment periods on any discretionary reviews, and help housing providers navigate permitting hurdles.



Ensure service districts are aware of the State mandate to serve affordable projects FIRST.



Drinking Water Providers

Wastewater Treatment





- ◆ Zone sites for Multi-family Residential





◆ Create a Mixed Use General Plan land use category



- ◆ Multi-family above commercial



Three-story Mixed Use: Apartments on Upper Floors with Commercial at Ground Level

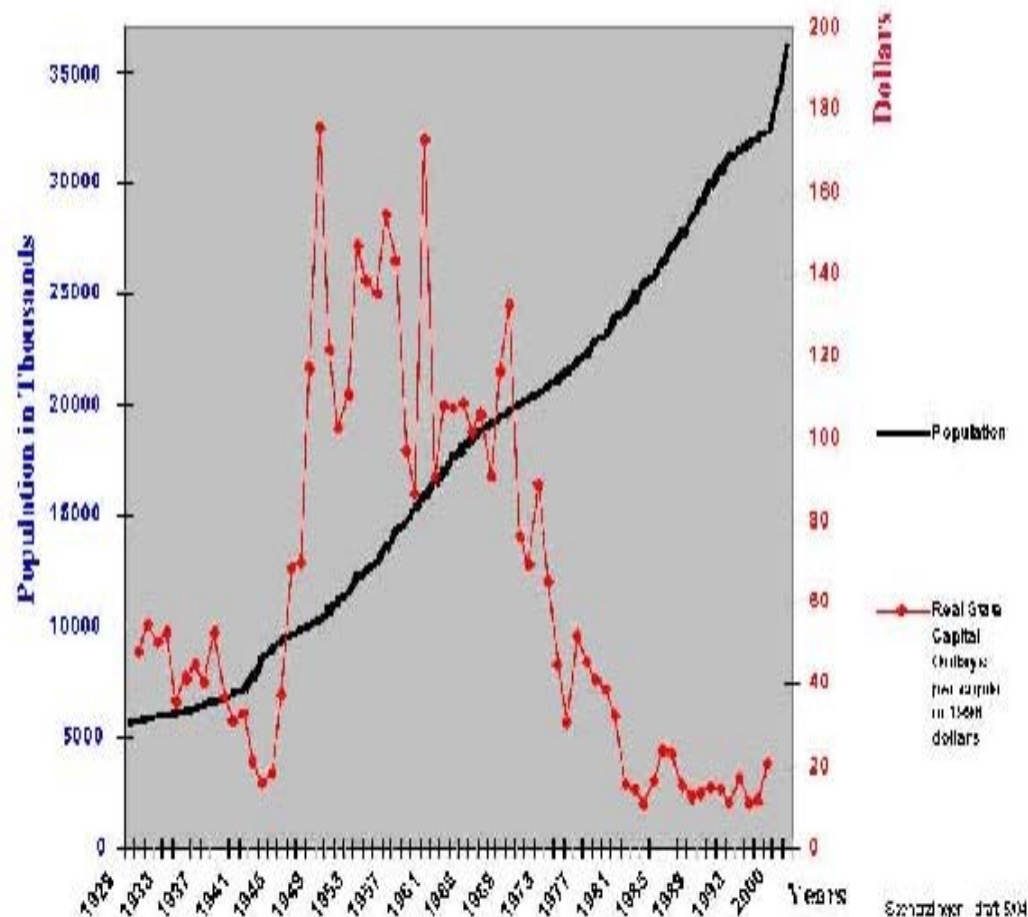
3. Available /Developable Infrastructure



Funding for Infrastructure Can Be Increased

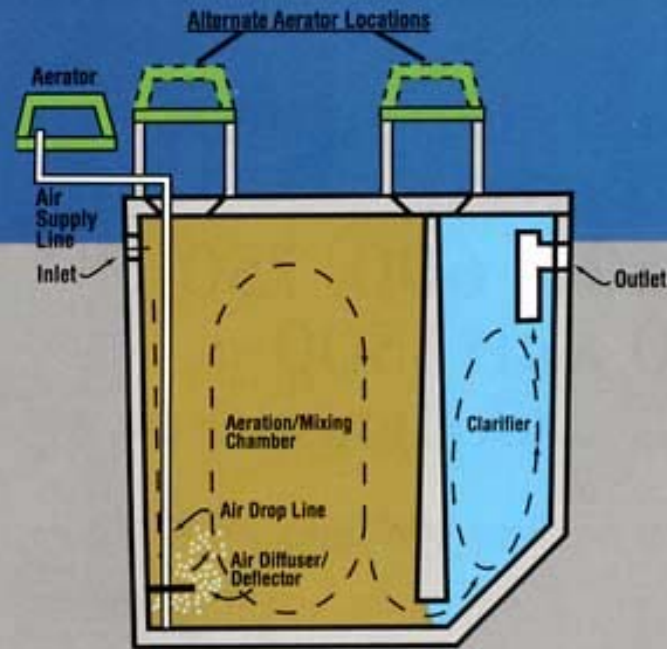


California Population Growth vs. Infrastructure Expenditures





AA 500



Aerobic Digester

Alternative septic systems should be considered in unincorporated areas

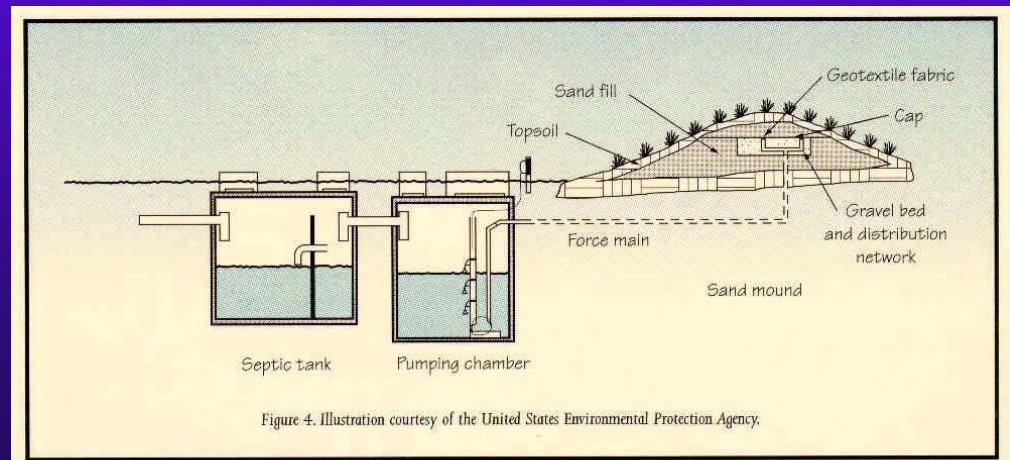


Figure 4. Illustration courtesy of the United States Environmental Protection Agency.

Schematic of a Sand Mound System



4. Available Funding/Financing

- ◆ County does not build housing so funding becomes the responsibility of the Housing Providers. **HOWEVER** the County has a role to play in securing funding through local match contributions.
- ◆ Recruit development partner: CDC, RCHDC, or private affordable developer would be recruited for the development phase.



How Mendocino County Can Play An Active Role In Meeting Affordable Housing Needs

- ◆ Two examples of cost saving measures follow in the case studies.