

COUNTY OF MENDOCINO
DEPT OF PLANNING & BUILDING SERVICES
120 WEST FIR STREET
FORT BRAGG, CA 95437
Telephone: 707-964-5379

Case No(s) EM 2016-0001
CDF No(s) _____
Date Filed _____
Fee \$ _____
Receipt No. _____
Received by _____
Office Use Only

EMERGENCY PERMIT APPLICATION FORM

Name of Applicant <u>James Ham</u>	Name of Owner(s) <u>James + Deanna Ham</u>	Name of Agent <u>James Ham</u>
Mailing Address <u>32400 Creekside Ln Fort Bragg, CA</u>	Mailing Address <u>same</u>	Mailing Address <u>same</u>
Telephone Number <u>707 961 6031</u>	Telephone Number <u>same</u>	Telephone Number <u>cell # 707 223 3908</u>

Project Description:
relocate water treatment equipment and tanks to new sealed pump house. Existing foundation is 14' x 14'

Driving Directions
The site is located on the _____ (N/S/E/W) side of Hwy 1 (name road)
approximately _____ (feet/miles) _____ (N/S/E/W) of its intersection with
Odom Lane (provide nearest major intersection).

Assessor's Parcel Number(s)
069-161-19 & 069-161-25

Parcel Size
13
 Square Feet
 Acres

Street Address of Project
33001 Lassen Dr.
Fort Bragg, CA
Please note: Before submittal, please verify correct street address with the Planning Division in Ukiah.

EMERGENCY PERMIT APPLICATION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Planning & Building Services Department and other agencies who will be reviewing your project proposal. The more detail that is provided, the easier it will be to promptly process your application. Please answer all questions. For questions which do not pertain to your project, please indicate "Not Applicable" or "N/A".

1. NATURE OF THE EMERGENCY NARRATIVE (use additional pages if necessary).

- a) Describe the nature, cause and location of the emergency. *The nature of the emergency is to substaigned water to the current 13 families. The building's roof is collapsing due to falling trees and structure is rotten and delapatated. The location is the water shed located at 33001 Lassen Dr., Fort Bragg.*
- b) Describe the remedial protective or preventive work required to deal with the emergency. *Relocate water treatment equipment and tanks to new sealed pump house and build new 14 x 14 pump house on existing foundation.*
- c) Describe the circumstances during the emergency that justify the course(s) of action taken, including the probable consequences of failing to take action. *Circumstances are falling trees, roof collapsing and building rotten. Potential damage to and ceased to provide water service to 13 homes and families.*
- d) Describe any secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc. that are necessary to deal with the emergency. *Minor grading next to existing 14 x 14 foundation. Install two new 5,000 gal. storage tanks. Area is 20' x 25'.*

2. Are there existing structures on the property? Yes No

If yes, describe below and identify the use of each structure on the plot plan.

3. Is any grading or road construction planned? Yes No

minor grading - 20' x 25' \emptyset
Estimate the amount of grading in cubic yards _____ c.y. If greater than 50 cubic yards or if greater than 2 feet of cut or 1 foot of fill will result, please provide a grading plan.

Describe the terrain to be traversed (e.g., steep, moderate slope, flat, etc.). flat

4. Will vegetation be removed on areas other than the building sites and roads? Yes No
If yes, explain:

On the 20' x 25' area.

5. Project Height. Maximum height of structure(s): 12' feet high

6. Describe all exterior materials and colors of all proposed structures that are visible beyond the boundaries of the subject parcel.

Exterior is hardi-grain plank - color is sky blue.

No visible beyond the boundaries of the parcel.

7. Are there any water courses, anadromous fish streams, ponds, lakes, sand dunes, rookeries, marine mammal haul-out areas, wetlands, riparian areas, pygmy vegetation, rare or endangered plants, animals or habitat which support rare and endangered species located on the project site or within 100 feet of the project site?

No

NOTES ON SHEET SN TAKE PRECEDENCE OVER THIS SHEET

GENERAL COMPLIANCE

- ALL PLANS SHALL COMPLY WITH THE FOLLOWING CODES:
- CALIFORNIA BUILDING CODE (2013 CBC)
- CALIFORNIA RESIDENTIAL CODE (2013 CRC)
- CALIFORNIA ELECTRICAL CODE (2013 CEC)
- CALIFORNIA MECHANICAL CODE (2013 CMC)
- CALIFORNIA PLUMBING CODE (2013 CPC)
- CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (2008 CEESC)
- CALIFORNIA FIRE CODE
- CALIFORNIA GREEN BUILDING STANDARDS CODE (2013 CGBS)

COMPLIANCE WITH THE FOLLOWING SHALL BE THE RESPONSIBILITY OF THE BUILDER:

1. PROVIDE STAIRWAY HANDRAILS AND GUARD RAILS PER R311.7.7 CRC.
2. PROVIDE SAFETY GLAZING AT ALL REQUIRED LOCATIONS PER R308.4 CRC.
3. PROVIDE SMOKE DETECTORS AND ALARMS PER R314, CRC
4. PROVIDE SPARK ARRESTORS AT CHIMNEYS PER R1003.9.1, CRC
5. PROVIDE FIRE-BLOCKING AND DRAFT-STOPS PER R302.12
6. PROVIDE BATHROOM AND LAUNDRY VENTILATION PER R303.
7. PROVIDE PHYSICAL PROTECTION OF WATER HEATERS AND MECHANICAL EQUIPMENT PER APPLICABLE SECTIONS OF CPC AND CMC
8. PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER CPC AND CMC.
9. DO NOT INSTALL GAS FIRED WATER HEATERS OR WARM AIR HEATERS IN BEDROOMS, BATHROOMS, OR ROOMS OPENING DIRECTLY INTO THEM PER CPC AND CMC.
10. PROVIDE ATTIC AND UNDER FLOOR ACCESS PER R408.4 & R807.1 CRC.
11. PROVIDE BEDROOM EGRESS PER R310.1 CRC.
12. PROVIDE 1 HOUR FIRE SEPARATION BETWEEN DWELLING AND GARAGE, INCLUDING FIRE PROTECTED OPENINGS PER R302.6, CRC.

GENERAL FRAMING NOTES

1. STAIRS AND STEPS
 - a. RISE=7.75" MAX., 3/8" MAX VARIATION (7.5" AT EXTERIOR STAIRS).
 - b. TREAT=10" MIN. 3/8" MAX VARIATION.
 - c. WIDTH = 36" CLR (HANDRAILS MAY PROJECT INTO CLR WIDTH 3.5" MAX.)
 - d. ALL STAIRWAYS SHALL CONFORM TO SECTION R311.7.
 - e. ALL STAIRS SHALL BE LAYED OUT TO ACHIEVE EQUAL RISERS AND TREADS WITHIN SINGLE RUN.
2. JOIST HANGERS: METAL CONNECTORS AND OTHER MISCELLANEOUS TIMBER CONNECTORS SHALL BE MANUFACTURED BY SIMPSON COMPANY SPECS OR EQUAL. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

CARPENTRY NOTES

1. ALL CARPENTRY SHALL CONFORM TO THE CONVECTIONAL CONSTRUCTION PROVISIONS OF THE LATEST ADOPTED VERSION OF THE CBC.
2. FRAME ALL STUD WALLS CONTINUOUS - BOTTOM AND TOP PLATES.
3. ALL EXTERIOR AND BEARING WALLS GREATER THAN 12' FT HIGH SHALL HAVE 2x6 MINIMUM STUDS @ 16" O.C. MAX.
4. BEARING AND EXTERIOR WALL STUDS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND AT INTERSECTIONS WITH OTHER PARTITIONS. END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET 48" MINIMUM.

EGRESS WINDOWS

EVERY SLEEPING ROOM AND ANY BASEMENT MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". THE FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR LEVEL. THE WINDOW OR DOOR MUST OPENING TO THE EXTERIOR OF THE BUILDING.

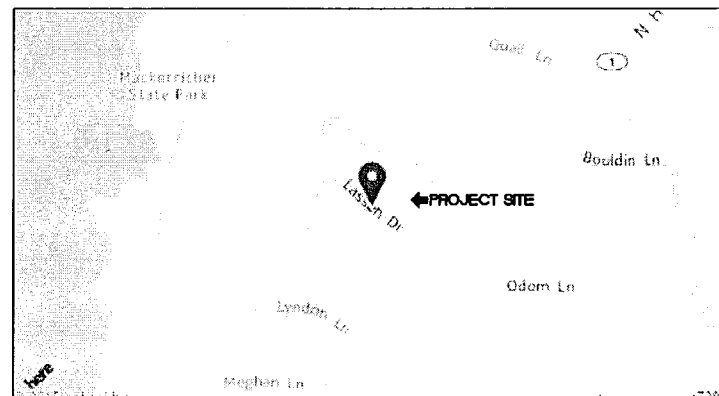
PLUMBING COMPLIANCE

- PLUMBING FIXTURES WHICH ARE INSTALLED IN NEW CONSTRUCTION OR ARE ADDED, MOVED OR REPLACED IN EXISTING CONSTRUCTION MUST CONFORM TO THE FOLLOWING CRITERIA, AND TO THE LATEST EDITION OF THE CPC.
1. ALL FAUCETS SHALL HAVE VALVE CONTROL AERATORS WHICH LIMIT WATER DELIVERY TO A MAXIMUM OF 2.2 GPM FOR SINK AND LAVATORY, AND 2.5 GPM FOR SHOWERS.
 2. ALL WATER CLOSETS, AND ASSOCIATED FLUSHOMETER VALVES, IF ANY SHALL DELIVER 1.6 GAL / FLUSH MAXIMUM.
 3. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 OF ITS VERTICAL DIMENSION. AT THE LOWER POINT A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. THE UNIT SHALL BE SECURED WITH 1 1/2"x16GA. STRAPS AND 5/16"x3" LAG SCREWS ANCHORED INTO WALL FRAMING MEMBERS. R301.2.2.3.7.
 4. WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVES SHALL BE EXTENDED TO OUTSIDE THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2FT NOR LESS THAN 6" ABOVE THE GROUND AND POINTING DOWNWARD.

ELECTRICAL NOTES

1. ALL ELECTRICAL EQUIPMENT SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE WITH STATE AND LOCAL AMENDMENTS.
2. EXTERIOR OUTLETS SHALL BE GROUND FAULT INTERRUPTER (GFCI) PROTECTED AND SHALL BE MOUNTED IN WATERPROOF BOXES.
3. GARAGE
 - a. ALL READILY ACCESSIBLE OUTLETS SHALL BE GFCI PROTECTED.
 - b. ALL EXPOSED WIRING LESS THAN 8 FEET ABOVE THE FLOOR TO BE IN METAL CONDUIT OR MC TYPE CABLE.
4. KITCHEN
 - a. PROVIDE AT LEAST (2) 20 AMP APPLIANCE BRANCH CIRCUITS.
 - b. ALL OUTLETS SERVING COUNTERTOP SURFACES TO BE GFCI PROTECTED
 - c. PRIMARY LIGHTING TO HAVE ATLEAST 40LUMENS/WATT
5. LAUNDRY
 - a. PROVIDE SEPARATE 20 AMP BRANCH CIRCUIT.
 - b. ALL OUTLETS LOCATED WITHIN 6' OF SINK TO BE GFCI PROTECTED.
6. SMOKE DETECTORS- IN NEW CONSTRUCTION PROVIDE 115V (W/ BATTERY BACKUP) SMOKE DETECTORS WITHIN 12" OF EACH BEDROOM CEILING, HALLS ADJACENT TO BEDROOMS, AT THE TOP OF STAIRS, AND AT HIGHEST POINT OF SLOPED CEILINGS. IN EXISTING BUILDINGS OR PORTIONS OF EXISTING BUILDINGS BEING REMODELED SMOKE DETECTORS MAY BE SOLELY BATTERY POWERED (907.2.10), ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE TO ALL SLEEPING AREAS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
7. BATHROOMS
 - a. MUST HAVE ATLEAST ONE LUMINARY WITH LAMPS WITH AN EFFICACY OF ATLEAST 40 LUMENS / WATT
 - b. BATHROOM RECEPTACLE OUTLETS SHALL BE GFCI PROTECTED AND SUPPLIED BY ATLEAST ONE 20 AMP BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
8. ALL 120V, SINGLE PHASE 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR GARAGE AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

VICINITY MAP



CONSTRUCT PUMPHOUSE
 PUMPHOUSE TO BE 14'x14' WITH AN 8' PLATE, 2x4 WALLS @ 16" O.C. USE (E) CONC. SLAB EPOXY AND (E) A.B. ROOF SLOPE IS TO BE 5:12. SIDING TO BE HARDIPLANK OVER 1/2" APA RATED SHEETING. ROOFING 40YEAR COMP CLASS A. SINGLE SWITCHED LIGHT IN THE ROOM. INSTALL NEW SUBPANEL AND BREAKERS IN PUMPHOUSE TO FEED PUMPHOUSE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING AROUND EXISTING WELL AND PUMP EQUIPMENT AND RESTORING ANY DAMAGED ELECTRICAL OR PIPING

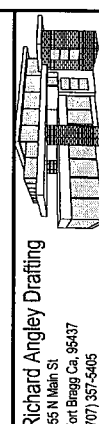
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JAN 25 2016

PLANNING & BUILDING SERV
 FORT BRAGG CA

SHEET INDEX

- A1.1 TITLE SHEET
- A1.2 SITE PLAN
- A2.1 FLOOR PLAN, STRUCTURAL PLANS, ELEVATIONS
- A3.1 SECTIONS AND DETAILS
- S1 STRUCTURAL NOTES



TITLE SHEET

REPLACEMENT PUMPHOUSE FOR:
PUMPHOUSE
 13000 LASSEN DRIVE
 FORT BRAGG, CALIFORNIA 95437

REVISIONS

- 1
- 2

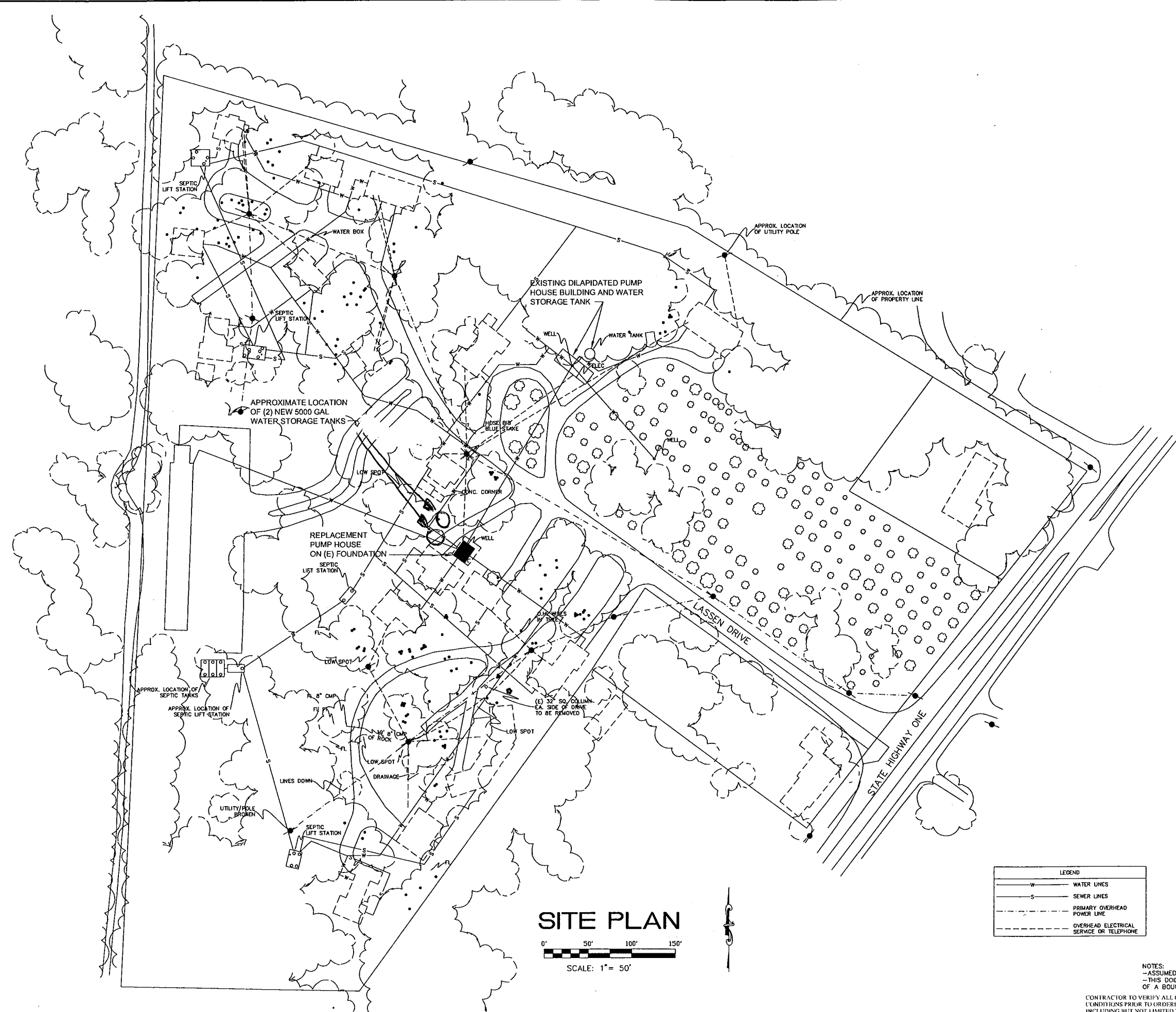
THESE DRAWINGS DO NOT REPRESENT WORK COMPLETED. THESE DRAWINGS WERE CREATED BY THE OWNER OR OWNER'S ARCHITECT. THE ARCHITECT HAS REVIEWED THESE DRAWINGS FOR CONFORMANCE WITH THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA MECHANICAL CODE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.

DATE	JAN, 24 2016
DRAWN BY	RICH ANGLE
SCALE	1/4" = 1'-0"
DWG. FILE	

SHEET NO.

A1.1
 OF SHEETS

CONTRACTOR TO VERIFY ALL CRITICAL DIMENSIONS AND SITE CONDITIONS PRIOR TO ORDERING SPECIALTY MATERIALS INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOPS, TILE, FIXTURES, BEAMS OR ANY OTHER NON STANDARD MATERIALS.



SITE PLAN
 0' 50' 100' 150'
 SCALE: 1" = 50'

LEGEND	
— W —	WATER LINES
— S —	SEWER LINES
— P —	PRIMARY OVERHEAD POWER LINE
- - - -	OVERHEAD ELECTRICAL SERVICE OR TELEPHONE

NOTES:
 - ASSUMED ELEVATION
 - THIS DOES NOT CONSIST OF A BOUNDARY SURVEY
 CONTRACTOR TO VERIFY ALL CRITICAL DIMENSIONS AND SITE CONDITIONS PRIOR TO ORDERING SPECIALTY MATERIALS INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOPS, TILE, FIXTURES, BEAMS OR ANY OTHER NON STANDARD MATERIALS.

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SITE PLAN

REPLACEMENT PUMPHOUSE FOR:
PUMPHOUSE
 33000 LASSSEN DRIVE
 FORT BRAGG, CALIFORNIA 94437

REVISIONS	
△	
△	

DATE: JAN, 24 2016
 DRAWN BY: RICH ANGLELY
 SCALE: 1/4" U.O.N.
 DWG. FILE:
 SHEET NO.: **A1.2**
 OF SHEETS: 1

GENERAL NOTES

STRAP WATER HEATER PER CODE PROVIDE SOLID BLOCKING IN WALL FOR FASTENING OF STRAP

GARAGE FROM DWELLING SHALL BE PROTECTED ON THE GARAGE SIDE WITH 5/8" TYPE 'X' GYP BOARD APPROVED FOR ONE-HOUR FIRE RESISTIVE CONSTRUCTION. ANY DOOR SHALL BE SELF CLOSING AND HAVE A 20 MIN. FIRE RATING. OFFSET ALL OUTLETS BY 24" MIN (MAY NOT SHARE SAME STUD BAY). ON COMMON WALL OF GARAGE AND RESIDENCE. WRAP ALL ELECTRICAL BOXES WITH SCOTCH PUTTY PADS. ALL PENETRATIONS OF WALL SHALL BE FIRE CALKED. INSTALL FIRE DAMPERS IN DUCTING AS REQUIRED BY CODE. ALL PENETRATIONS ON COMMON WALLS OF GARAGE AND RESIDENCE SHALL COMPLY WITH CRC R302.5 THRU R302.5.3

VERIFY ALL CABINET LAYOUTS WITH OWNER PRIOR TO ORDERING AND FABRICATION.

NOTE: INTERIOR FINISHES GYP BD CEILING AND WALL FINISHES, FLOOR FINISHES TO BE SELECTED BY OWNER INSTALLED BY CONTRACTOR.

NOTE: SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH NON ABSORBENT SURFACE TO A HEIGHT OF 72" MIN. ABOVE FINISH FLOOR.

PROVIDE RECESSED WALL BOX FOR WASHER HOOK-UP PROVIDE ALL VALVES DRAIN AND P-TRAP AS REQUIRED FOR A COMPLETE INSTALLATION.

PROVIDE AND INSTALL VENT PIPE FOR DRYER INSTALLATION TO EXTERIOR OF STRUCTURE INCLUDE ALL PIPING AND WALL TERMINATION KIT.

18" (MIN.) HIGH PLATFORM UNDER WATER HEATER AND F.A.U. WHEN IN GARAGE

HANDRAILS SHALL BE PLACED BETWEEN 34-38" ABOVE LANDINGS AND THE NOSING OF STAIR TREADS. HAND RAIL GRIP SHALL BE 1-1/2" IN CROSS SECTION AND ON 1/12" STANDOFF BRACKETS. GUARDRAILS SHALL BE 42" HIGH (34"-38" AT STAIRS) AND CONSTRUCTED IN SUCH A WAY AS TO NOT ALLOW A 4" SPHERE TO PASS THRU THE HORIZONTAL OR VERTICALS OF GUARD RAIL. AT THE TRIANGULAR OPENING FORMED BY THE TREAD AND THE BOTTOM RAIL OF THE GUARD RAIL THE BOTTOM RAIL SHALL BE POSITIONED SO AS TO NOT ALLOW A 6" SPHERE TO PASS THRU THE TRIANGULAR PORTION. GUARDRAILS SHALL ONLY BE REQUIRED WHERE THE LANDING IS 30" OR GREATER ABOVE GRADE OR THE FLOOR BELOW. ALL GUARDS AND HANDRAILS SHALL COMPLY WITH SEC. 311 & 312 OF THE CRC.

INSTALL (2) HOSE BIBS WITH PERMANENT ANTI-SIPHON DEVICES ON RESIDENCE. VERIFY EXACT LOCATION IN FIELD WITH OWNER.

WOOD BURNING STOVE TO BE EPA & NSPS CERTIFIED AND MEETS THE CLEAN AIR ACT STANDARD. VERIFY CLEARANCES FROM COMBUSTIBLE MATERIALS AND INSTALL PER MANUFACTURERS SPECIFICATIONS.

AT EACH BATHROOM PROVIDE SOLID BLOCKING IN WALL FOR MOUNTING OF (1) TOILET PAPER DISPENSER, (2) ROBE HOOKS AND (3) TOWEL BARS. VERIFY EXACT LOCATION IN FIELD PRIOR TO CLDSING IN WALLS.

WILDLAND URBAN INTERFACE

EXTERIOR GLAZING IN WINDOWS AND DOORS SHALL BE DUAL-PANE WITH A MINIMUM OF ONE TEMPERED PANE AT EXTERIOR PANE (704A.3.2.2)

EXTERIOR DOORS SHALL BE ONE OF THE FOLLOWING: SOLID CORE WOOD (1-3/8" MIN. THICK W/ 1-1/4" MIN. PANEL, HAVE A 20 MINUTE FIRE RESISTANCE RATING OR BE OF NONCOMBUSTIBLE CONSTRUCTION.

ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTERS AND DOWNSPOUTS DIRECTED TO FLOW AWAY FROM RESIDENCE. PER R327.5.4

PROTECTED VENTILATION OPENINGS PER CRC R327.8.2 & CRC R327.8.3

EXTERIOR WALL FINISH SHALL BE AN APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL.

COVERED PATIOS, DECKS AND EXTERIOR STAIRS SHALL COMPLY WITH ONE OF THE FOLLOWING: CONSTRUCTED OF IGNITION RESISTANT OR NONCOMBUSTIBLE MATERIAL, OR CONSTRUCTED OF HEAVY TIMBER OR CONSTRUCTED OF FIRE RETARDANT TREATED WOOD.

THE UNDERSIDE OF FLOOR PROJECTIONS AND ROOF OVERHANGS SHALL MAINTAIN THE IGNITION RESISTANT INTEGRITY OF THE EXTERIOR WALLS (704A.4.2 ; 704A.2.3).

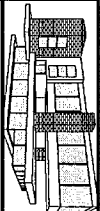
FASTENERS IN FIRE-RETARDANT-TREATED WOOD SHALL BE STAINLESS STEEL

FIRE SPRINKLER SYSTEMS TO BE SUBMITTED UNDER SEPARATE PERMIT BY DESIGN/BUILD

ARE THREE TO 7.6.2 AND CRC ARE THREE TO 7.6.3 NEW EXTERIOR WALL COVERING MUST COMPLY WITH OPEN ROOF EAVES MUST COMPLY WITH EXTERIOR

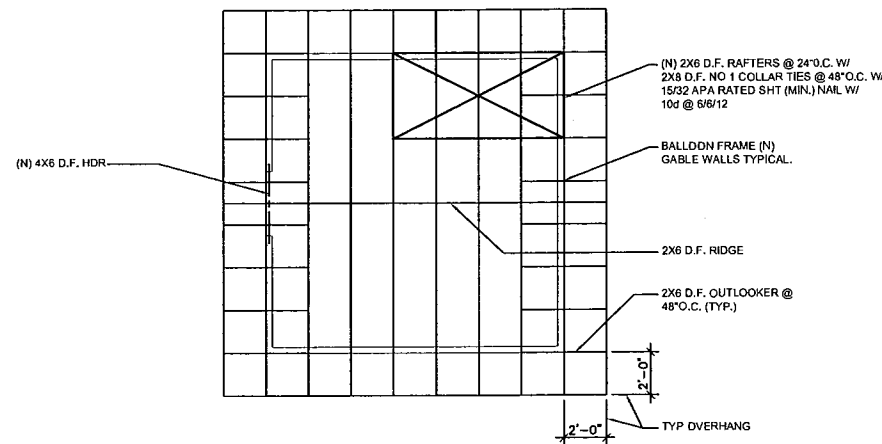
EXTERIOR MATERIALS

SIDING: JAMES HARRON FIBER CEMENT LAP SIDING, 1 PRIME COAT & 2 FINISH COATS PAINT (SKY BLUE)
 CASING: JAMES HARRON FIBER CEMENT, 1 PRIME COAT & 2 FINISH COATS PAINT
 TRIM: JAMES HARRON FIBER CEMENT, 1 PRIME COAT & 2 FINISH COATS PAINT
 FASCIA: 1X8 PAINT GRADE, 1 PRIME COAT & 2 FINISH COATS PAINT
 SOFFIT: JAMES HARRON FIBER CEMENT PANEL
 PATIOS: CONCRETE SLAB W/ STIFF BROOM FINISH
 EXTERIOR WOOD FINISH: 1 PRIME COAT & 2 FINISH COATS PAINT
 ROOFING: CLASS A 40 YEAR COMPOSITION SHINGLE
 FLASHING: GALVANIZED COPPER OR STAINLESS STEEL
 GUTTERS & DOWNSPOUTS: SEAMLESS ALUMINUM OR PLASTIC GUTTERS. GUTTERS SHALL BE SCREENED WITH LEAF GUARDS AND DOWNSPOUTS DIRECTED TO FLOW AWAY FROM RESIDENCE. PER R327.5.4

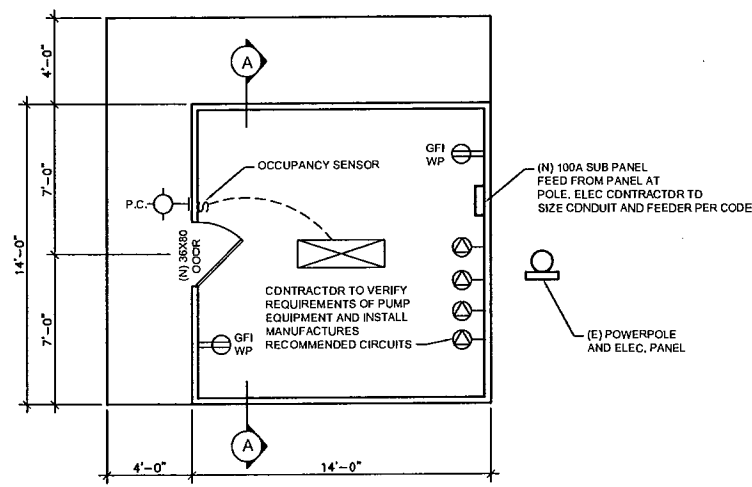


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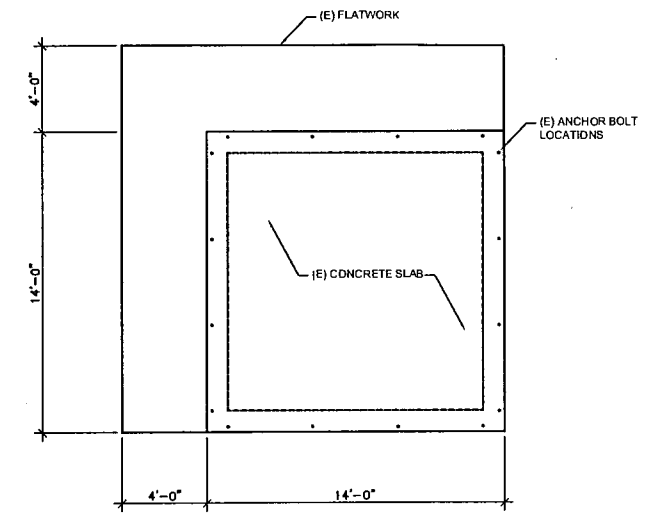
FLOOR PLANS



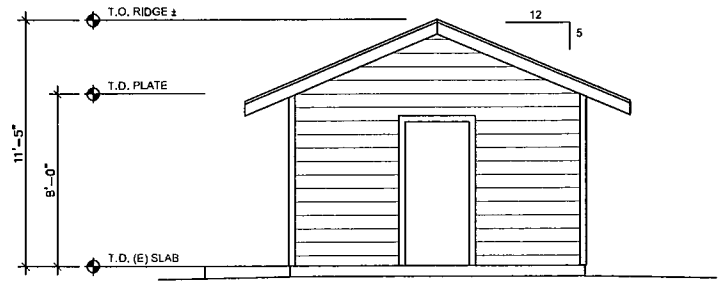
ROOF FRAMING PLAN
 1/4" = 1'-0"



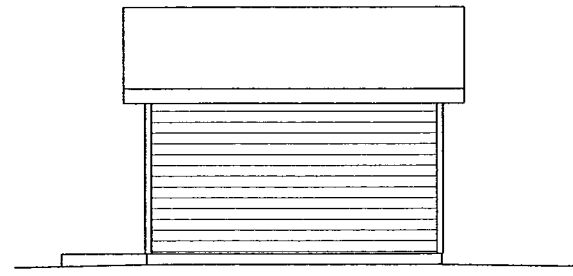
FLOOR PLAN
 1/4" = 1'-0"



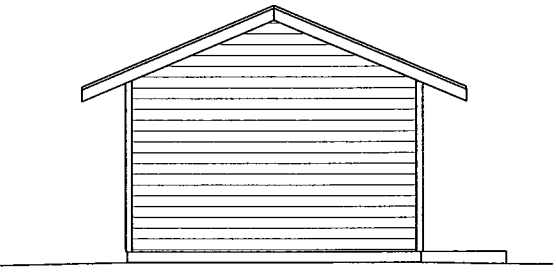
EXISTING FOUNDATION
 1/4" = 1'-0"



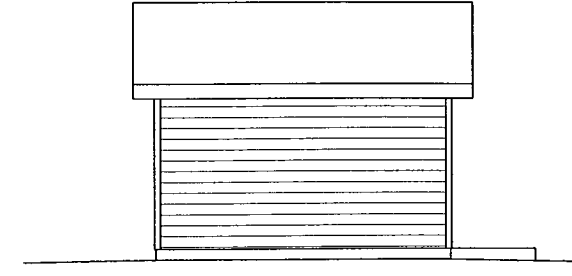
NORTH
 1/4" = 1'-0"



WEST
 1/4" = 1'-0"



SOUTH
 1/4" = 1'-0"



EAST
 1/4" = 1'-0"

REPLACEMENT PUMPHOUSE FOR PUMPHOUSE
 33000 LASSEN DRIVE
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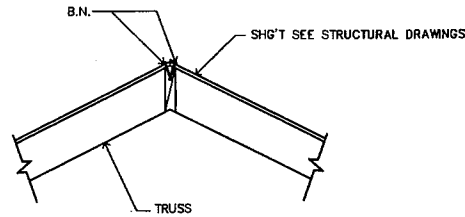
REVISIONS

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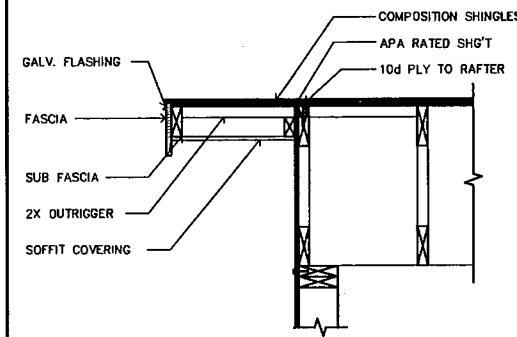
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 OF SHEETS

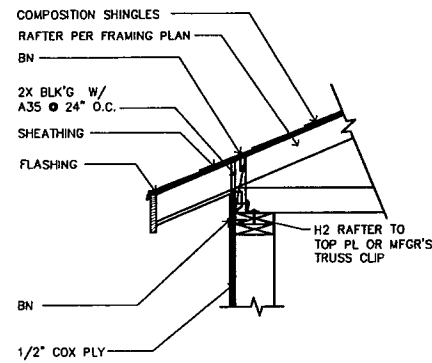
CONTRACTOR TO VERIFY ALL CRITICAL DIMENSIONS AND SITE CONDITIONS PRIOR TO ORDERING SPECIALTY MATERIALS INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERS, TILE, FIXTURES, BEAMS OR ANY OTHER NON STANDARD MATERIALS.



1 RIDGE
SCALE 1"=1'-0"



2 RAKE
SCALE 1"=1'-0"



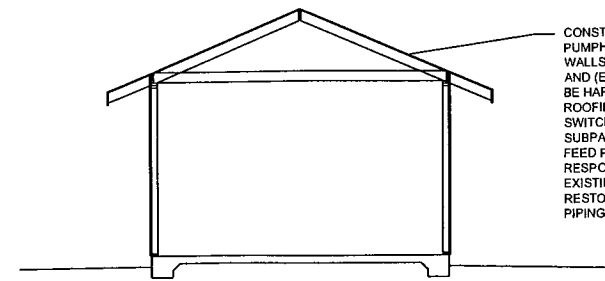
3 EAVE
SCALE 1"=1'-0"

SYMBOLS LEGEND

	DUPLX RECEPTACLE MOUNT 12" A.F.F. U.O.N.
	LISTED GROUND FAULT INTERRUPTER PROTECTED DUPLX RECEPTACLE MOUNT 12" A.F.F. U.O.N.
	LISTED WATER PROOF GROUND FAULT INTERRUPTER PROTECTED DUPLX RECEPTACLE MOUNT 12" A.F.F. U.O.N.
	DEDICATED CIRCUIT. VERIFY REQUIREMENTS AND MOUNTING HEIGHT WITH EQUIPMENT MANUFACTURER.
	SINGLE POLE LIGHT SWITCH, MOUNT 44" A.F.F. UNLESS OTHERWISE NOTED
	SINGLE POLE DIMMER SWITCH, MOUNT 44" A.F.F. UNLESS OTHERWISE NOTED
	INDICATES 3-WAY OR OTHER AS DENOTED ON PLANS
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	T-5 FLUORESCENT LIGHT FIXTURE
	PANASONIC WHISPER LIGHT FAN/LIGHT/INTELLIGHT COMBO. PROVIDE ALL DUCTING, TERMINATIONS AND SWITCHING REQUIRED BY MANUFACTURER
	PANASONIC WHISPER FAN. PROVIDE ALL DUCTING, TERMINATIONS AND SWITCHING REQUIRED BY MANUFACTURER
	CABLE TELEVISION RECEPTACLE MOUNT 12" A.F.F. U.O.N., HOME RUN TO CABLE MPOE PROVIDE RG6 (MIN.) CABLE (VERIFY REQUIREMENTS WITH TV SUPPLIER)
	TELEPHONE RECEPTACLE MOUNT 12" A.F.F. U.O.N., HOME RUN TO TELEPHONE MPOE PROVIDE CAT5E (MIN.) CABLE
	HARDWIRED INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP
	HARDWIRED INTERCONNECTED CARBON MONOXIDE SMOKE DETECTOR COMBO UNIT WITH BATTERY BACKUP

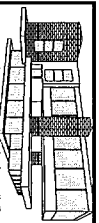
- NOTES:
1. INCLUDE MANUFACTURERS RECOMMENDED LAMPS FOR ALL FIXTURES.
 2. INCLUDE ALL BLOCKING AND HANGERS OR ADDITIONAL SUPPORT REQUIRED BY MANUFACTURER.
 3. INCLUDE MANUFACTURERS SWITCHES AND CONTROLS FOR ALL FANS.
 4. INCLUDE MOTION / PHOTO CONTROL FOR ALL EXTERIOR LIGHTS.
 5. ALL LIGHTS IN WET / DAMP LOCATIONS SHALL BE RATED / LISTED FOR WET LOCATION
 6. ALL OUTLETS SHALL BE LISTED TAMPER RESISTANT
 7. CONTRACTOR TO SUPPLY SWITCHING COMPATIBLE WITH LIGHTS SELECTED BY OWNER
 8. KITCHEN REQUIREMENTS A MINIMUM OF 50% OF ALL LIGHTING WATTAGE IN THE KITCHEN MUST BE HIGH EFFICACY. ALL HIGH EFFICACY LIGHTING MUST BE ON A SEPARATE SWITCH FROM LOW EFFICACY LIGHTS. THESE REQUIREMENTS ARE EXPANDED TO ADJACENT AREAS (E. NOOKS DINING ROOMS, ETC) WHEN A SINGLE SWITCH CONTROLS LIGHTS IN BOTH AREAS.
 9. BATHROOMS, GARAGES, LAUNDRY AND UTILITY ROOM REQUIREMENTS: "PERMANENTLY" INSTALLED LIGHT FIXTURES MAY BE LOW EFFICACY IF THEY ARE CONTROLLED BY AN OCCUPANCY SENSOR THAT HAS A MANUAL ON/OFF SWITCH AND THE OCCUPANCY SENSOR AUTOMATICALLY TURNS THE LIGHT OFF NO MORE THAN 30 SECONDS AFTER IS VACATED.
 10. OTHER INTERIOR LIGHTING REQUIREMENTS: "PERMANENTLY" INSTALLED LIGHT FIXTURES IN ALL OTHER AREAS MUST BE HIGH EFFICACY OR INSTALLED WITH A DIMMER OR TYPICAL OCCUPANCY SENSOR (MANUAL ON SWITCH NOT REQ.) ROOMS LESS THAN 70 SQ. FT. ARE EXEMPT
 11. EXTERIOR LIGHT REQUIREMENTS: ALL LIGHT FIXTURES PERMANENTLY MOUNTED TO THE HOUSE OR OTHER BUILDINGS ON THE SITE MUST BE HIGH EFFICACY OR PROVIDED WITH AN INTERGAL MOTION, SENSOR AND PHOTO CONTROL. LIGHTS LOCATED AROUND POOLS, SPAS, FOUNTAINS, ETC. ARE EXEMPT.
 12. RECESSED FIXTURES: MUST BE RATED FOR INSULATION CONTACT (IC RATED, AIRTIGHT/ASTM263) AND SEALED WITH A GASKET OR CAULKED BETWEEN HEADSING.
 13. ALL SMOKE DETECTOR AND CARBON MONOXIDE DETECTORS SHALL BE HARD WIRED WITH BATTERY BACK-UP AND INTEGRALLY WIRED SO THAT IF ONE DEVICE ACTIVATES ALL DEVICES ALERT.
 14. ALL WALL PLATES / SWITCHES / OUTLETS EXT. TO BE DECORA STYLE. OWNER TO SELECT FROM STANDARD COLORS.

- NOTE:
1. PROVIDE 1 (MIN) 20 AMP BRANCH CIRCUIT TO SUPPLY LAUNDRY RECEPTACLE OUTLETS
 2. PROVIDE 1 (MIN) 20 AMP BRANCH CIRCUIT TO SUPPLY BATHROOM RECEPTACLE OUTLETS.
 3. ALL RECEPTACLES INSTALLED OUTDOORS OR IN DAMP LOCATIONS SHALL BE LISTED WEATHERPROOF.
 4. PROVIDE 2 (MIN) 20 AMP BRANCH SMALL APPLIANCE BRANCH CIRCUITS TO SERVE THE KITCHEN COUNTERTOPS.
 5. ALL 15 AND 20 AMP 125V, SINGLE PHASE BRANCH CIRCUITS SUPPLYING OUTLETS SHALL BE AFCI PROTECTED.
 6. ALL 145V, SINGLE PHASE 15 AND 20 AMP RECEPTACLES INSTALLED IN RESIDENCE SHALL BE LISTED TAMPER RESISTANT.



SECTION A
1/4" = 1'-0"

CONSTRUCT PUMPHOUSE PUMPHOUSE TO BE 14'x14' WITH AN 8' PLATE, 2x4 WALLS @ 16" O.C. USE (E) CONC. SLAB, EPOXY AND (E) A.B. ROOF SLOPE IS TO BE 5:12. SIDING TO BE HARDPLANK OVER 1/2" APA RATED SHEETING. ROOFING 40 YEAR COMP CLASS A. SINGLE SWITCHED LIGHT IN THE ROOM. INSTALL NEW SUBPANEL AND BREAKERS IN PUMPHOUSE TO FEED PUMPHOUSE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING AROUND EXISTING WELL AND PUMP EQUIPMENT AND RESTORING ANY DAMAGED ELECTRICAL OR PIPING



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DETAILS

REPLACEMENT PUMPHOUSE FOR:
PUMPHOUSE
38000 LASSEN DRIVE
FORT BRAGG, CALIFORNIA 95437

REVISIONS

1	
2	

DATE
JAN 24 2016
DRAWN BY
RICH ANGLEY
SCALE
1/4" U.O.N.
DWG. FILE

SHEET NO.
A3.1
OF SHEETS

CONTRACTOR TO VERIFY ALL CRITICAL DIMENSIONS AND SITE CONDITIONS PRIOR TO ORDERING SPECIALTY MATERIALS INCLUDING BUT NOT LIMITED TO CABINETS, COUNTERTOPS, T.I.E. FIXTURES, BEAMS OR ANY OTHER NON STANDARD MATERIALS.

